

# HOME INSPECTION REPORT



19 Bicknell Ave  
Toronto

Prepared for: Kevin Alvarez

Prepared by: Bob Papadopoulos P.Eng., RHI \*

Inspection Date: Sept 7 2016



[www.redbrickinspections.ca](http://www.redbrickinspections.ca)  
[bob@redbrickinspections.ca](mailto:bob@redbrickinspections.ca)  
416-829-6655

Please Read: [http://redbrickinspections.ca/docs/1\\_Introduction\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf)

\*please see credentials at end of report

## SIGNIFICANT ITEMS

*This page should not be considered as the complete report.  
Please read all other forms contained within the Home  
Inspection Report*

*For the purposes of this report,  
the front of the house is considered  
to be facing: West*

ROOFING Newer high quality asphalt shingles with a typical life expectancy of 25-30-yrs.

EXTERIOR Newly installed downspouts and gutters. See details for general repairs and maintenance.

STRUCTURE Main house overall well built. Overall rear addition installations are lower quality- see details.

ELECTRICAL The 100 AMP service size is adequate. Low quality installations observed - see details.

HEATING 6-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrs.

COOLING/  
HEAT PUMPS none

INSULATION/  
VENTILATION Restricted access to roof and wall spaces therefore insulation not determined.

PLUMBING The lead watermain should be upgraded to copper in the short term. The supply piping in the house is copper. The main drain is older. The washrooms and kitchens require upgrading.

INTERIOR There is evidence of basement dampness - please see details.

## OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

*Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Canadian Association of Home and Property Inspectors available online at [www.redbrickinspections.ca](http://www.redbrickinspections.ca).*

Description

Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Asphalt Shingles:	Slope:	Low	Brick:	Central
Asphalt Shingles:	Garage:	Low	Brick:	South

Limitations

Roof Inspected By: Walking On	Access Limited By:	Chimney Access Limited By:
----------------------------------	--------------------	----------------------------

Ref#\* Observations/Recommendations

Sloped Surface: **newer surface in good repair**



Garage: **overall surface in good repair**



Chimney(s):

Central: **rebuilt and in good repair**



South: **masonry has been 'patched' with parging, monitor and repair as required**



**Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)**

**Description**

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Above Grade	Lot Topography: Flat	Walls & Wall Structures: Stucco Vinyl Siding Artificial Stone
------------------------------------	--	-------------------------	--

**Limitations**

Exterior Inspection from Ground Level  
Storage in Garage

**Observations/Recommendations**

\*\*Gutters/Downspouts: newly installed

WALL SURFACES: general repairs required in various areas



DETACHED GARAGE: limited access due to storage and finishes, appears general repairs and improvements will be required

\*\*Walk(s)/Driveway(s): surface settlement- budget to re-surface  
continue to seal gaps along wall to reduce moisture in basement

Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

\*\* Any or all these items may contribute to **Basement Leakage**. Please see Interior Form

**Description**

Configuration:	Foundations:	Floor :	Walls :	Roof/Ceiling Framing:
Basement:	Masonry Block	Wood Joists	Masonry (Stucco Finish)	No Access
Slab-on-Grade:	Not Visible		Wood Frame (Siding)	

**Limitations**

Restricted Access to: Wall Space Roof Space	Foundation Wall Not Visible: <u>99</u> %
---	--

**Observations/Recommendations**

FOUNDATIONS: minor settlement crack observed in furnace room overall not unusual



FLOORS: rear extension, framing is close to grade and prone to moisture damage, adding a concrete sill around the perimeter recommended



**Description**

Service Size: <b>100</b> AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: <b>Overhead</b>	<b>Copper</b>
Rating: <b>100</b> AMP	Type of material: <b>Not Visible</b>	
Description: <b>Breakers</b>		
Location: <b>Basement</b>		
Distribution Panel	System Grounding:	
Rating: <b>100</b> AMP	Description: <b>Copper</b>	
Description: <b>Breakers</b>	Location: <b>Water Pipe</b>	Ground Fault Circuit Interrupter:
Location: <b>Basement</b>		Location:
Auxiliary Panel(s):	Outlets	
Rating: AMP	Description: <b>Grounded/Ungrounded</b>	
Description:	Number of Outlets: <b>Minimal</b>	Arc Fault Circuit Interrupter:
Location:		Location:

**Limitations**

**Main Disconnect Cover Not Removed**

**Observations/Recommendations**

Ref#\*

**SERVICE ENTRANCE:**

Mast: **loose support wire should be secured properly**



**SERVICE PANEL: too many double tap breakers, add more breakers**



**BRANCH WIRING:** based on random sampling wiring installation and materials are suspect, recommend audit throughout and repair/replace where required, overall might be more cost effective to re-wire house especially if renovating

Miswired Outlet(s): **various - see above**

GFCI: **provide to exterior outlet**

**provide to washroom outlet**

**Note 1:** All recommendations are safety issues - Treat them as high priority.

**Note 2:** Please ensure accurate labeling on panels.

**Description**

Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel:	Shut Off at:
Forced Air Furnace:	High	46 x1000BTU/hr	6 yrs.	20 yrs.	Gas	Meter-Exterior

Exhaust Vent Arrangement: [Plastic Through-Wall Vent](#)

**Limitations**

<a href="#">Heat Loss Calculations Not Done</a>	<a href="#">Summer Test Procedure</a>
<a href="#">Heat Exchanger- Inaccessible</a>	

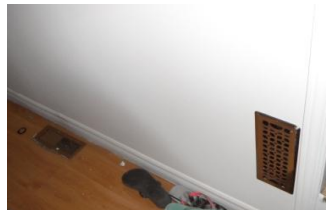
Ref#\*

**Observations/Recommendations**

FORCED AIR FURNACE: [service annually](#)



Ducts: [only one unit for rear room, additional units might be required](#)  
[note: floor registers are space vents for slab on grade](#)





**Description : none**

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
	x1,000 BTU/hr	yrs. old	yrs.

**Limitations**

**Cooling Performance**

Supply Temp F:  
Return Temp F:

Ref#\*

**Observations/Recommendations**

--





### Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting: Roof
-----------	----------	---------	---------------------	------------------

### Limitations

Access Not Gained To Wall Space  
Access Not Gained To Roof Space

Ref#\*

### Observations/Recommendations

Note: adding insulation is considered an improvement rather than a repair



### Description

Service Piping into House: <b>Lead</b>	Main Shut Off Valve at: <b>Basement-Front</b>	Water Flow (Pressure): <b>Adequate</b>
Supply Piping & Pump(s): <b>Copper</b>	Waste Piping & Pump(s): <b>Plastic</b> <b>Cast Iron</b> <b>Clay Floor Drain</b>	Water Heater  Type: <b>Conventional</b> Fuel Type: <b>Gas</b> Capacity: <b>40 Gal</b> Age Yrs.: <b>6</b> Life Expectancy: <b>15</b>

### Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Ref#\*

### Observations/Recommendations

**SUPPLY PIPING:**

WATERMAIN: **contact city for upgrade to copper**

**WASTE PIPING:**

Basement Floor Drain: **older main drain, recommend video-scan, may require repairs/replacement**

Washroom(s): **old, recommend replacing**

**mouldy conditions - Environmental Consultants can assist if this is a concern**

Kitchen(s) **old, upgrade as required**

**Description**

Floor Finishes: Wood Resilient Laminate	Wall Finishes: Plaster/Drywall	Ceiling Finishes: Plaster/Drywall	Windows: Sliders Fixed	Exterior Doors: Wood
Fireplaces: Wood Stove	Fireplace Fuel: Wood			

**Limitations**

Restricted/No Access To: very limited access due to storage Foundation Not Visible 99 %  
 CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Drainage Tile Not Visible  
 Storage/Furnishings in Some Areas Limited Inspection

Ref#\*

**Observations/Recommendations**

Window(s): older lost seals

STAIRS: steep - safety concern, rail requires repair

Wood Stove: safety clearance suspect, overall might have to be removed  
 for insurance purposes  
 recommend inspection by W.E.T.T. Certified technician  
 (www.wettinc.ca)

\*Evidence of Basement Leakage: staining and dampness along baseboards  
 recommend damp-proofing if renovating basement

long term moisture may result in visible or concealed mould growth.  
 Environmental Consultants can assist if this is a concern

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life  
 safety concern and mandatory by law

\*\* Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort should leaking persist

Environmental/Health Concerns: [http://redbrickinspections.ca/docs/11\\_Environmental\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf)



## **Bob Papadopoulos P.Eng, RHI**

---

- **Over 14 years of building inspecting experience in Toronto and the GTA**
- **Over 4,000 residential and commercial buildings inspected**

Bob has inspected over 4,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

### **Professional Designations**

- P.Eng. (Professional Engineer of Ontario)
- RHI Registered Home Inspector
- Certified Energy Auditor

<http://www.peo.on.ca/>

<http://www.oahi.com/>

---