

# HOME INSPECTION REPORT



8 Wareside Rd

Toronto

Prepared for: Kevin Alvarez

Prepared by: Bob Papadopoulos P.Eng., RHI \*

Inspection Date: March 29 2016



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\*please see credentials at end of report

## SIGNIFICANT ITEMS

*This page should not be considered as the complete report.  
Please read all other forms contained within the Home  
Inspection Report*

*For the purposes of this report,  
the front of the house is considered  
to be facing: South*

ROOFING The roof surfaces through-out are overall in good repair.

EXTERIOR Overall well maintained.

STRUCTURE Overall well maintained.

ELECTRICAL The 100 AMP service size is adequate and the wiring is copper. The panel has been upgraded.

HEATING 3-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrs.

COOLING/  
HEAT PUMPS 3-yr-old air-conditioner with a typical life expectancy of 15-yrs.

INSULATION/  
VENTILATION Recommend upgrading in the attic to improve comfort and efficiency.

PLUMBING Overall good water pressure with copper and plastic supply piping. The main waste drain includes a backflow valve. The washrooms have been renovated and in good repair.

INTERIOR Overall well maintained.

## OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

*Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Canadian Association of Home and Property Inspectors available online at [www.redbrickinspections.ca](http://www.redbrickinspections.ca).*

Description				
Roofing Material: Asphalt Shingles:	Location: Slope:	Leakage Probability: Low	Chimney(s) Type: Brick: Brick:	Location: West North
Limitations				
Roof Inspected By: Walking On	Access Limited By:	Chimney Access Limited By:		

Ref#*	Observations/Recommendations
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Sloped Surface: overall surface in good repair, minor staining observed on underside of lower roof - monitor



Chimney(s): overall surface in good repair



Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)

**Description**

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Stone Vinyl Siding
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**Limitations**

Exterior Inspection from Ground Level

**Observations/Recommendations**

WALL SURFACES: overall in good repair

DOORS/WINDOWS: overall in good repair

ATTACHED GARAGE: car door opener requires repair  
portion of floor has been repaired on west side

\*\*Walk(s): seal gaps at wall around perimeter to minimize moisture in basement



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

\*\* Any or all these items may contribute to **Basement Leakage**. Please see Interior Form

**Description**

Configuration: Basement: Crawl Space:	Foundations: Masonry Block	Floor : Wood Joists	Walls : Masonry (Double-Brick) Wood Frame (Siding)	Roof/Ceiling Framing: Wood Rafters/Joists
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**Limitations**

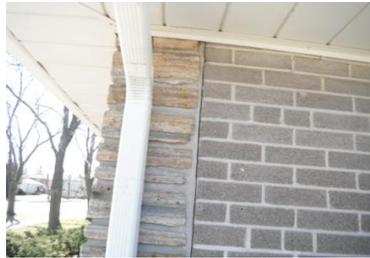
Restricted Access to: Wall Space	Foundation Wall Not Visible: <u>75</u> % Roof Space Inspected From Access Hatch Crawlspace Entered but access was limited
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**Observations/Recommendations**

FOOTINGS/FOUNDATIONS **minor settlement cracks in some areas**

**WALLS:**

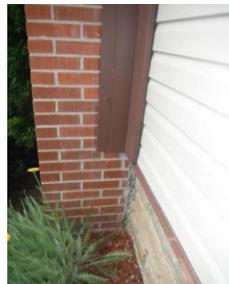
Masonry: **minor cracks on north side and southeast garage, overall not unusual**

**ROOF:**

Roof Sheathing: **staining, mildew/mold on north side above washroom**  
Environmental Consultants can assist if this is a concern



CHIMNEY(s): **west unit appears to be anchored to house possibly due to settlement-**  
**monitor**



Description			
Service Size: <b>100</b> AMP (240volts)	Service Entrance Cable:	Distribution Wire:	
Main Disconnect/Service Box	Location: <b>Overhead</b>	<b>Copper</b>	
Rating: <b>100</b> AMP	Type of material: <b>Not Visible</b>	<b>Grounded &amp; Ungrounded</b>	
Description: <b>Breakers</b>			
Location: <b>Basement</b>			
Distribution Panel	System Grounding:		
Rating: <b>100</b> AMP	Description: <b>Copper</b>		
Description: <b>Breakers</b>	Location: <b>Water Pipe</b>	Ground Fault Circuit Interrupter:	
Location: <b>Basement</b>		Location: <b>Outside</b>	
Auxiliary Panel(s):	Outlets	<b>Bathroom(s)</b>	
Rating: AMP	Description: <b>Grounded/Ungrounded</b>		
Description:	Number of Outlets: <b>Minimal</b>	Arc Fault Circuit Interrupter:	
Location:		Location:	

**Limitations**

**Main Disconnect Cover Not Removed**

**Ref#\* Observations/Recommendations**

SERVICE PANEL: **upgraded**



Ungrounded Outlet(s): **some units**  
provide GFCI's (ground fault circuit interrupters)

BRANCH WIRING: **exterior rear - wire prone to foot damage**



Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labeling on panels.

Description						
Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel:	Shut Off at:
Forced Air Furnace:	High	69 x1000BTU/hr	3 yrs.	20 yrs.	Gas	Meter-Exterior
Exhaust Vent Arrangement:		Plastic Through-Wall Vent				
Limitations					Furnace Performance	
Heat Loss Calculations Not Done					Supply Temp F:	130
Heat Exchanger- Inaccessible					Return Temp F:	70
Ref#*	Observations/Recommendations					

FORCED AIR FURNACE: [service annually](#)



Registers: [front door entrance - unusual location - prone to damage](#)

Gas Meter: [rusting piping at exterior meter - call utility](#)

Description			
Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	24 x1,000 BTU/hr	3 yrs. old	15 yrs.
Limitations		Cooling Performance	
Cannot Test With Low Outdoor Temp		Supply Temp F:	
		Return Temp F:	
Ref#*	Observations/Recommendations		
	<p>AIR CONDITIONER: not tested: should be serviced before using  breaker should be in on position 24 hrs before using A/C</p>		

Description				
Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Fiberglass:	Main Roof:	18	Kraft Paper	Roof
Fiberglass:	2nd Roof:	18		

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Limitations				
Roof Space Inspected from Access Hatch				

Ref#\*

Observations/Recommendations				
<p>ROOF SPACE: <a href="#">low insulation, uneven in some areas, recommend upgrading and installing soffit vents</a></p> <p>Roof Access Hatch: <a href="#">insulate and weather-strip access hatch to roof space</a></p> <div style="display: flex; justify-content: space-around;">   </div> <p>Exhaust Fan Vents: <a href="#">recommend insulation kitchen vent, remove abandoned duct</a></p> <div style="display: flex; justify-content: space-around;">   </div>				



Note: adding insulation is considered an improvement rather than a repair

### Description

Service Piping into House: Copper	Main Shut Off Valve at: Basement	Water Flow (Pressure): Adequate
Supply Piping & Pump(s): Copper Plastic	Waste Piping & Pump(s): Plastic Cast Iron Copper	Water Heater  Type: Conventional Fuel Type: Gas Capacity: 40 Gal Age Yrs.: 3 Life Expectancy: 15

### Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Ref#\*

### Observations/Recommendations

#### WASTE PIPING:

Basement Floor Drain: not found - further evaluation required, also none found for crawl space  
 Laundry Floor Drain: as above

Piping: main waste drain includes a newer backflow valve



Washroom(s): overall in good repair, basement recently renovated  
 Kitchen(s) overall in good repair

**Description**

Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Drywall	Drywall	Single/Double Hung	Metal
Carpet			Fixed	French
Resilient			Casement	
Fireplaces:	Fireplace Fuel:			
Masonry	Wood			

**Limitations**

Restricted/No Access To: \_\_\_\_\_ Foundation Not Visible 75 %  
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Drainage Tile Not Visible

Ref#\*

**Observations/Recommendations**

Floors/Walls/Ceilings: overall in good repair, minor cracks in master bedroom ceiling  
Trim/Cabinets/Counters: overall in good repair

Windows/Doors: overall in good repair, dining room window requires repair

STAIRS: improve rails for safety

FIREPLACE: recommend chimney sweep/inspection by W.E.T.T. Certified technician  
([www.wettinc.ca](http://www.wettinc.ca))

\*\*Basement Leakage: presently no concerns, see Steps below

CO/Smoke detectors: smoke detector on 2nd level hall ceiling should be centrally located

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

\*\* Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort should leaking persist



## **Bob Papadopoulos P.Eng, RHI**

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- **Over 14 years of building inspecting experience in Toronto and the GTA**
- **Over 4,000 residential and commercial buildings inspected**

Bob has inspected over 4,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

### **Professional Designations**

- P.Eng. (Professional Engineer of Ontario)
- RHI Registered Home Inspector
- Certified Energy Auditor

<http://www.peo.on.ca/>

<http://www.oahi.com/>

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